

Corrections for Adoption in Flagstaff Zoning Code.

Mixed Use

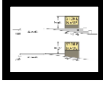
Case # PZ-19-000127

HOW TO READ THIS DOCUMENT

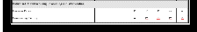
Unless otherwise stated, provisions that are being deleted are shown in bold red strikethrough text, like this: ~~Provisions that are being deleted are shown with a bold red strikethroughs text.~~

Provisions that are being added are shown in bold blue text, like this: Provisions that are being added are shown in bold blue text.

Graphics/Figures that are being deleted are indicated with an "X" over the graphic/figure.

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Tables that are being deleted are indicated with an "X" over the Tables.

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Section 1. Amend Title 10 FLAGSTAFF ZONING CODE, Section 10-20.40.090 Minor Modifications to Development Standards., Table 10-20.40.090.A. Types of Minor Modifications Allowed, as follows – including adding grid lines to the table:

10-20.40.090 Minor Modifications to Development Standards

Table 10-20.40.090.A Types of Minor Modifications Allowed		
	Types of Minor Modifications Allowed	Maximum Modification
1.	A reduction of a designated setback.	5% or 2 feet, whichever is greater
2.	Where a majority of lots are developed with single-family residences with nonconforming setbacks, new buildings or structures may conform to the pattern established by the majority of the existing buildings in the same block.	Determined on a case-by-case basis
3.	An increase in allowable building height.	5% or 2 feet, whichever is greater

4.	An increase in residential lot coverage.	3%
5.	An increase in lot coverage in commercial or industrial zones.	10%
6.	An increase in the floor area ratio (FAR) for commercial or industrial developments.	10%
7.	To encourage the development of housing units for disabled persons with limited mobility, a reasonable deviation from the prescribed standards of Chapter 10-40, Specific to Zones, where necessary to install features that facilitate access and mobility of disabled persons may be allowed.	Determined on a case-by-case basis
8.	To encourage the use of passive solar designs and other sustainable practices, a reasonable deviation from the prescribed standards of Chapter 10-40, Specific to Zones, where necessary to promote energy conservation may be allowed.	Determined on a case-by-case basis
9.	An increase or decrease in the number of dwelling units or lots.	10%
10.	A decrease in the minimum required parcel depth or parcel width.	10%
11.	A relaxation of the specified build-to-line, defined by the facade, for sites located within transect zones.	10%
12.	A relaxation of the specified front facade requirements for sites located within transect zones.	10%
13.	Minimum ground floor finished floor level in all T3 and T4 transect zones (18") for lots that slope away from the street (i.e. downhill).	Shall be measured from grade adjacent to the front elevation.
14.	A modification of Section 10-40.60.160, Drive-Through Retail, subsections C.1 through C.5 only, to provide flexibility in the application of these standards when unique site circumstances exist.	Determined on a case-by-case basis
15.	A modification of Table 10-40.60.260.B (Site Layout and Development Design Standards). Factors to be considered include: the width and character of the street; if the site is located within a floodplain; if site conditions such as changes in topography make providing pedestrian accessibility difficult; if there is vacant property or existing noncommercial uses on the opposite side of the street; or if the mixed-use development is proposed on a through lot between two primary streets and commercial uses are only appropriate on one such primary street. Reserved	Determined on a case-by-case basis
16.	A modification of Section 10-50.20.030(B)(7), Windows, to allow the use of alternative window design and placement when	Determined on a case-by-case basis

	warranted by unusual site circumstances and the development's context.	
17.	An addition to an existing structure located as close to the property line as any existing encroachment, but no closer than any applicable Fire Code and Building Code limitations.	400 square feet
18.	An increase of the allowed maximum height of a fence or wall located within a designated setback area.	20%
19.	To encourage the preservation of existing healthy trees located more than 25 feet from a building foundation (Section 10-50.60.050(A)(1)).	100%
20.	Landscaping in residential zone buffers may be reduced if the areas are retained in their natural state.	Determined on a case-by-case basis
21.	Minor changes to approved landscape plans.	Determined on a case-by-case basis
22.	Temporary irrigation as appropriate in hydrozones 2 and 3.	Determined on a case-by-case basis
23.	Alternative configurations for landscaping required in off-street parking lots (e.g. landscape islands) as long as the 30 sf/space (or 40 sf/space for SC and RD zones) requirement is met.	Determined on a case-by-case basis
24.	A reduction in the landscaping requirements for expansions, or change or intensification of use for existing developments (Refer to Section 10-50.60.020, Applicability).	Determined on a case-by-case basis
25.	Residential additions not meeting parking requirements in non-transect zones. An addition to an existing structure, only when the resident cannot meet the two-car parking requirement due to the subject parcel configuration.	400 square feet
26.	An increase in the maximum height building mounted signs may be mounted on the wall of a building.	2 feet

Section 2. Amend Title 10 FLAGSTAFF ZONING CODE, Section 10-40.30.040 Commercial Zones – Allowed Uses., B. Commercial Zones – Allowed Uses. Table 10-40.30.040.B. Commercial Zones – Allowed Uses ., for the land use of Mixed Use and add end note 11, as follows:

10-40.30.040 Commercial Zones – Allowed Uses

B. **Commercial Zones – Allowed Uses.** The allowed land uses of each of the Commercial zones are shown in Table 10-40.30.040.B.

Table 10-40.30.040.B.						
Commercial Zones – Allowed Uses						
Land Use ¹	Specific Use Regulations	Commercial Zones				
		SC	CC	HC	CS	CB
Mixed Use Development	10-40.60.260	P P¹¹	P P¹¹	P P¹¹	P P¹¹	P
End Notes						
11. Mixed-use development shall be on: <ol style="list-style-type: none"> a. A lot or parcel that abuts a street classified as a commercial corridor identified on the General Plan’s Road Network Illustration Map; or b. A development site abutting a street classified as a commercial corridor identified in the General Plan’s Road Network Illustration Map that is approved as part of a Zoning Map Amendment (A detailed site plan that indicates the approximate location of uses and buildings for the mixed-use development shall be a condition of Zoning Map Amendment approval). 						

Section 3. Amend Title 10 FLAGSTAFF ZONING CODE, Section 10-40.30.040 Commercial Zones, Subsection C. Commercial Zones – Building Form and Property Development Standards., Table 10-40.30.040.C., as follows – including grid lines and shading:

10-40.30.040 Commercial Zones

- C. **Commercial Zones – Building Form and Property Development Standards.** The building form and property development standards shown in Table 10-40.30.040.C. shall apply to all property with the corresponding commercial zones.

Table 10-40.30.040.C.					
Commercial Zones – Building Form and Property Development Standards					
	Commercial Zones				
	SC	CC	HC	CS	CB
Building Placement Requirements					
Setback from property line					
Front (Also see Section 10-50.60.040.B)	15' ¹	0'	0' ²	0'	0'
Side	----- 15' min. ⁶ -----				
Adjacent to Residential Use	----- 15' min. ⁶ -----				
Street Side (min.),	10' ¹	10' ³	10' ³	10' ³	0'
All Other Sides	----- 0' -----				

Rear						
Adjacent to Residential	----- 15' min. -----					
All Other Rear Setbacks	----- 0' -----					
Mixed-use development setback from curblines	See Section 10-40.60.260					
Building Form Requirements						
Building Height (max.)	35'	60'^{14,8} 60' ^{4,7}	60' ¹⁴	60' ¹⁴	60' ¹⁴	
Gross FAR (max.)	0.8⁵ 0.8	2.5⁵ 2.5	3.0⁵ 3.0	2.0⁵ 2.0		No max.
Density Requirements						
Gross Density (units/acre) (max.) (Not Applicable to Mixed Use)	13	----- Refer to HR Zone -----				
Lot Requirements						
Area (Gross sf) (min.)⁶ (min.) ⁵	6,000	9,000	9,000	9,000	7,000	
Width (min.)⁶ (min.) ⁵	50'	60'	60'	60'	50'	
Depth (min.)⁶ (min.) ⁵	100'	100'	100'	100'	--	
Open Space						
Mixed Use Developments	----- 10 percent of the net lot area -----					
All Other Developments with Two or More Dwelling Units	----- 15 percent of the net lot area -----					
Other Requirements						
Fences and Screening	See Division 10-50.50					
Landscaping	See Division 10-50.60					
Outdoor Lighting	See Division 10-50.70					
Parking	See Division 10-50.80					
Signs	See Division 10-50.100					
End Notes						
1 1.	Front setbacks shall be equal to 15' or match adjacent residential development, whichever is less.					
2 2.	No front setback required, except when required by the adoption of building setback lines along specified streets.					
3 3.	Setback may be reduced to 5' min., if the landscape street buffer is reduced in accordance with Section 10-50.60.040(B), Nonresidential Zone Buffers.					
4 4.	Conditional use permit required for structures over 60' in height.					
5	Excludes residential square feet (gross) when above or behind commercial uses.					
6 5.	Within a planned residential development, the minimum area, width, and depth of a lot may vary based on the minimum lot standards applicable to the building types selected for application within a planned residential development (see Section 10-40.60.280, Planned Residential Development).					
7 6.	Except that the setback from a proposed residential use in a commercial zone to other residential uses shall be 5' min.					
8 7.	Single-family dwellings and duplexes in the CC zone shall be limited to a maximum height of 35 feet consistent with the height standard for the MR zone.					

Section 4. Amend Title 10 FLAGSTAFF ZONING CODE, Section 10-40.60.260 Mixed Use, Subsection D. Mix of Use., paragraph 2, and Figure 10-40.60.260B: Examples of Use Mixes within a Building, as follows:

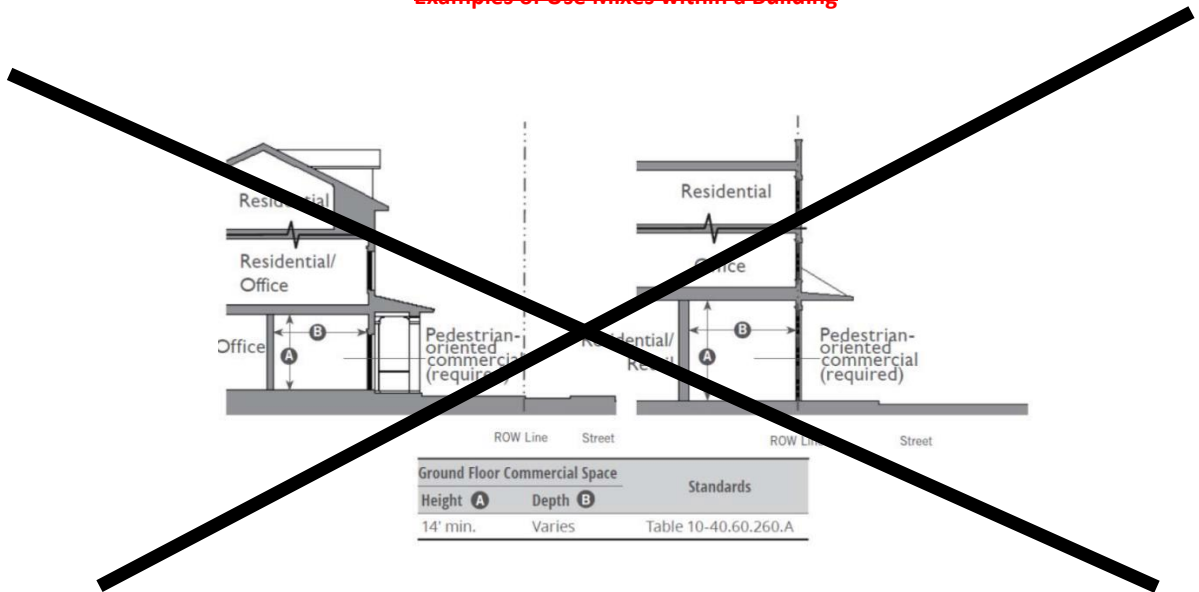
10-40.60.260 Mixed Use

D. Mix of Use.

2. A use on the ground floor/**first floor** must be different from a use on an upper floor. The second floor may be designed to have the same use as the ground floor/**first floor** provided there is at least one more floor above the second floor that has a different use from the first two floors. At least one of the floors shall contain residential units. ~~See Figure 10-40.60.260B.~~

Figure 10-40.60.260B

Examples of Use Mixes within a Building



Section 5. Amend Title 10 FLAGSTAFF ZONING CODE, Section 10-40.60.260 Mixed Use, Subsection B. Mix of Uses., paragraph 4, and Table 10-40.60.260.A: Standards for Pedestrian-Oriented Commercial Space., as follows – including the addition of grid lines:

10-40.60.260 Mixed Use

B. Mix of Uses.

4. The minimum depths of pedestrian-oriented commercial space in a mixed-use developments ~~within activity centers determined in the General Plan are~~ shall be provided in accordance with Table ~~10-40.60.260.A~~ 10-40.60.260.B.4.
 - a. The depth of the pedestrian-oriented commercial space is measured from the face of the building, perpendicular to the right-of-way. When a pedestrian-oriented commercial space is at a corner of intersecting right-of-ways, the depth requirements of Table 10-40.60.260.B.4. shall be provided from each of the intersecting right-of-ways.

Table 10-40.60.260.A 10-40.60.260.B.4.: Standards for Pedestrian-Oriented Commercial Space	
Activity Center Location	Min. Depth of Pedestrian-Oriented Commercial Space
Urban Activity Center Center ¹	20' 30 foot min.
All Other Locations Locations ²	60' 50 foot min.
End Notes:	
<ol style="list-style-type: none"> 1. The locations of the Urban Activity Centers are delineated in the General Plan. 2. Any location that is not within an Urban Activity Center delineated in the General Plan. 	

Section 6. Amend Title 10 FLAGSTAFF ZONING CODE, Section 10-40.60.260 Mixed Use, Subsection D. Site Layout and Development Design Standards., paragraphs 1 and 2, and Table 10-40.60.260.B: Site Layout and Development Design Standards, as follows:

10-40.60.260 Mixed Use

D. Site Layout and Development Design Standards.

1. Each proposed mixed-use development shall comply with the property development standards of the applicable zone, and the requirements of Table ~~10-40.60.260.B~~ 10-40.60.260.D.2., Site Layout and Development Design Standards.
2. There is no density limitation established for residential uses in mixed-use developments. ~~Instead,~~ The applicable gross floor area ratio, building height, parking, landscaping, etc., building form standards of the property's zone will apply to provide a control on the bulk and mass of ~~the a development and the number of residential units permitted.~~

**Table ~~10-40.60.260.B~~ 10-40.60.260.D.2.:
Mixed Use Site Layout and Development Design Standards**

<p>(1) Ground Floor/First Floor Pedestrian-oriented Commercial Space-Area</p>	<p>(1) Pedestrian-oriented commercial space includes a lobby serving other uses in the building or uses not open to the general public (e.g., a private gymnasium)</p> <p>(a) Ground floor/first floor Pedestrian-oriented Commercial Area shall be provided adjacent to all street frontages, unless required in (2) of this table, or modified in accordance Section 10-40.60.261.</p> <p>(b) The Ground floor/first floor Pedestrian-oriented Commercial Area shall have a:</p> <p>(2) (i) Ground floor commercial space shall have a customer entrance Customer entrance(s) opening directly onto the sidewalk - ;</p> <p>(3) (ii) Depth of the Ground ground floor commercial space must be no less than the standard established in indicated in Table 10-40.60.260.A. 10-40.60.260.B.;</p> <p>(4) (iii) Minimum Floor floor-to-ceiling height of the Ground floor commercial space of min. 14 feet, unless modified in accordance with 10-40.60.262; and</p> <p>(5) (iv) Private frontage must be in compliance with Division 10-50.120 (Specific to Private Frontages), as determined by the Director.</p>
<p>(2) Residential Entrance, Exit, and Lobby</p>	<p>(a) A residential entry/exit foyer or lobby shall be provided adjacent to each street, and shall be connected to the adjacent street sidewalk by a minimum six foot wide sidewalk.</p> <p>(b) The width of the entry/exit foyer or lobby shall be at least 15 feet and less than or equal to 25 feet, unless modified in accordance Section 10-40.60.261.</p> <p>(c) The entry/exit foyer or lobby depth shall comply with Table 10-40.60.260.B.</p> <p>(d) The foyer or lobby may be developed to access other uses in building, and may include area for a porter/bellhop, receptionist, security, tenant mailboxes, and waiting.</p> <p>(e) No portion of the foyer or lobby may be designed to accommodate, or used for, Residential Community Building Area, unless allowed in (2)(d).</p>

**Table ~~10-40.60.260.B~~ 10-40.60.260.D.2.:
Mixed Use Site Layout and Development Design Standards**

<p>(3) Location of Residential Units¹ Ground Floor/First Floor Residential Dwelling Units</p>	<p>Residential dwelling units street frontage space adjacent to a primary street. (a) The dwelling units may be provided behind the ground floor/first floor pedestrian oriented commercial areas, and on ground floor/first floor facades that do not face a street, unless allowed in accordance with Section 10-40.60.261. and developed in accordance with 10-40.60.262.</p>
<p>(4) Ground floor/first floor Residential Community Building Area (Refer to Section 10-80.20.180 for the definition of this area)</p>	<p>(a) The area may be provided behind the ground floor/first floor pedestrian oriented commercial areas and on ground floor/first floor facades that do not front a street, unless allowed in accordance with Section 10-40.60.261. and developed in accordance with 10-40.60.262</p>
<p>(5) Building Setback from Street Curbline</p>	<p>(a) Buildings shall be setback from the curbline in accordance with Table 10-40.60.260.D.3.</p>
<p>(5) Parking</p>	<p>To encourage the development of residential uses in existing and new commercial areas, the use of shared parking provisions shall be incorporated into mixed use developments in compliance with Section 10-50.80.060, Parking Adjustments. (a) Parking shall be provided in accordance with Division 10-50.80: Parking Standards.</p>
<p>(6) Vehicle entry/exit to a surface parking lot or parking structure.</p>	<p>(a) When a development site's rear or side lot line abuts an alley, the alley shall be used to provide entry/exit to the development's vehicle parking. (b) Unless required in (6)(c), when a development site does not abut: (i) an alley, the street abutting the street side property line shall be used to enter/exit the development's vehicle parking; or (ii) an alley or side street, the street abutting the front property line may be used to provided entry/exit to the development's vehicle parking. (c) To assist with accommodating traffic safety, minimizing vehicle congestion, or the abutting street is a minor collector or greater, the Planning Director, after</p>

**Table ~~10-40.60.260.B~~ 10-40.60.260.D.2.:
Mixed Use Site Layout and Development Design Standards**

	<p>consulting with the City Engineer, may require a development's vehicle entry and/or exit to be provided from an alternative adjacent street or alley.</p>
<p>(7) Parking Structures or Interior Parking Lots Building Façade</p>	<p>(a) The maximum width of a parking structure or interior parking lot abutting a façade adjacent to a street side property line shall be equal to, or less than, 35% of the total width of the building façade that is adjacent to the street side property line. The total width is per building, and not the sum of the width of each separate building façade adjacent to a street side property line.</p> <p>(b) The maximum width of a parking structure above the ground floor/first floor that is abutting the façade adjacent to a front property line, shall be equal to, or less than, 35% of the total width of a building façade(s) that is adjacent to the property line.</p> <p>(c) When a vehicle entry/exit portal is provided through a ground floor/first floor building façade provided in accordance with (6)(b)(ii), the maximum width of the portal shall be equal to, or less than, 35% of the total width of a building façade(s) that is adjacent to the property line.</p> <p>(d) When vehicle access is provided from the front property line, in addition to the requirements of (7)(c), no more than 35% of the front property line width shall be used for one or more vehicle entry/exit driveways.</p> <p>(e) Additional width(s) of the parking structure may be allowed in accordance with Section 10-40.60.261.</p>
<p>(8) Off-street Loading and Unloading Areas</p>	<p>(a) Commercial Loading The areas shall be located away from residential units and screened from view from the residential portion of the development to the maximum extent feasible, in compliance with Table 10-50.60.040.B, Buffer and Screening Requirement.</p>
<p>(9) Refuse and Recycling Areas</p>	<p>(a) Areas for the collection and storage of refuse and recyclable materials The areas shall be located on the development site in locations that are convenient for both the residential and nonresidential uses.</p> <p>(b) Vehicular access to the refuse and recycle bin storage and removal locations shall be from the abutting alley. If</p>

**Table ~~10-40.60.260.B~~ 10-40.60.260.D.2.:
Mixed Use Site Layout and Development Design Standards**

	<p>the development site does not abut an alley, the vehicular access to the refuse and recycle bin storage and removal locations shall be from a driveway that is internal to the development.</p> <p>(c) Refuse and recycle bin storage and removal locations shall not be: i) provided between an adjacent street and the façade of the building; or ii) incorporated in the façade of the building adjacent to a street.</p>
<p>(10) Common and Private Open Space</p>	<p>(a) A mixed-use development shall be designed to provide residential uses with common Common or private open space shall be provided in the amount indicated in Table 10-40.30.040.C., which may be in the form of roof gardens or landscaped terrace, grade level plazas, pocket parks, individual balconies, or other means as approved by the Director.</p> <p>(b) A minimum of 75 percent of the dwelling units on the perimeter of each building within a development shall provide private outdoor living space. The private outdoor living space shall be a separately delineated courtyard, balcony, or patio that abuts, and is directly accessed from the dwelling unit for which the area is provided.</p> <p>(c) Each courtyard, balcony, or patio shall have a minimum width of eight (8) feet, a minimum area of 80 square feet, and shall be recessed a minimum of 4 feet into the building.</p>

End Notes

~~¹—The Director may waive or modify the requirement for pedestrian-oriented commercial space on the ground floor of a mixed-use building. See Section 10-20.40.090, Minor Modifications to Development Standards.~~

Section 7. Amend Title 10 FLAGSTAFF ZONING CODE, Section 10-40.60.260 Mixed Use, Subsection D. Site Layout and Development Design Standards., paragraphs 1 and 2, and Table 10-40.60.260.B: Site Layout and Development Design Standards, as follows:

10-40.60.260 Mixed Use

D. Site Layout and Development Design Standards.

- 3. A mixed use development shall be setback from a street in conformance with Table 10-40.60.260.D.3.**

Table 10-40.60.260.D.3. Building Setback from Street Curbline					
	Commercial Zones				
	SC	CC	HC	CS	CB
Building Placement Requirements					
Minimum setback from the curbline of a street classified as a Major or Minor Arterial (Note 1).					
Ground floor/first floor commercial area	Note 2	20' ^{3,4}	20' ^{3,4}	20' ^{3,4}	Note 5
Ground floor/first floor residential dwelling unit(s) or residential community building area when allowed in accordance with section 10-40.60.261.	Note 2	25' ^{4,6}	25' ^{4,6}	25' ^{4,6}	Note 5
Minimum setback from the curbline of a street for all other street classifications (Note 1).					
Ground floor/first floor commercial area	Note 2	15' ^{3,4}	15' ^{3,4}	15' ^{3,4}	Note 5
Ground floor/first floor residential dwelling unit(s) or residential community building area when allowed in accordance with section 10-40.60.261	Note 2	20' ^{4,6}	20' ^{4,6}	20' ^{4,6}	Note 5
End Notes					
<ol style="list-style-type: none"> 1. Street classifications are identified on the Roadway Functional Classification Map in Section 13-10-014-0003 Map of the City Code. 2. Development shall comply with the setback requirements of the Suburban Commercial (SC) zone indicated in Table 10-40.30.040.C. 3. Setback also applies to a residential entrance, exit, and lobby located on the same façade plane as the ground floor/first floor commercial. 4. Setback also applies to the building façade of the floors above the ground floor/first floor. 5. Development shall comply with the building placement requirements of T6 Downtown (T6) zone. 6. Setback also applies to a residential entrance, exit, and lobby located on the same façade plane as the ground floor/first floor residential dwelling unit(s) or residential community building. 					

Section 8. Amend Title 10 FLAGSTAFF ZONING CODE, Section 10-40.60.260 Mixed Use, Subsection E. Performance Standards., and Table 10-40.60.260.C: Performance Standards, as follows:

10-40.60.260 Mixed Use

E. Performance Standards. Each proposed mixed-use development shall comply with the performance standards of Table ~~10-40.60.260.C~~ **10-40.60.260.E.**, Performance Standards.

Table 10-40.60.260.C 10-40.60.260.E.: Performance Standards	
Lighting	Lighting for commercial uses shall be appropriately shielded to limit impacts on the residential units.
Noise	Each residential unit shall be designed and constructed to minimize nonresidential development noise levels.
Hours of Operation	A mixed-use development proposing a commercial component shall operate between the hours from 6:00 a.m. to 10:00 p.m. to ensure that the commercial uses will not negatively impact the residential uses within the development, or any adjacent residential uses.

Section 9. Amend Title 10 FLAGSTAFF ZONING CODE, to add Section 10-40.60.261. Modifications to Table 10-40.60.260.D., Mixed Use Site Layout and Development Design Standards., as follows:

10-40.60.261. Modifications to Table 10-40.60.260.D., Mixed Use Site Layout and Development Design Standards.

A. Ground floor/First floor Pedestrian-oriented Commercial Space Area. Upon review of the property owner’s or authorized agent’s separate written request, the context and environment adjacent to the proposed development, the General Plan, applicable specific plans, and any additional requested information, the Director may approve modifications to the Ground floor/first Floor Pedestrian-oriented Commercial Space Area requirements and allow:

- 1. Pedestrian-oriented Residential Dwelling Units and/or ground floor/first floor Residential Community Building Area designed in the location that the ground**

floor/first floor commercial area is required based on the following considerations:

- a. The character of the development of the block face on the opposite side of the street from the proposed development is substantially residential at the ground floor/first level, or contains a use that is compatible with a pedestrian oriented residential environment;
- b. A substantial amount of the block face of the property abutting the opposite side of the street from the proposed development is zoned T1 Natural (T1), T2 Rural (TS), T3 Neighborhood I (T3N.1), T3 Neighborhood 2 (T3N.2), or a residential zone;
- c. The location of a floodway or floodplain on a development site, or changes in topography of the development site or abutting street that the ground floor/first Floor Pedestrian-oriented Commercial Space is required to front, are such that reasonable accommodations to provide pedestrian accessibility to the commercial area is impracticable; or
- d. The location of the required ground floor/first floor pedestrian-oriented commercial space would be inconsistent with the goals and policies of the City's adopted General Plan and/or Specific Plan applicable to the development site and the property of the block face that is on the opposite side of the street and directly across from the proposed development.

2. Accessory uses in the location that the ground floor/first floor Pedestrian-oriented Commercial Space is required based on the following considerations:

- a. The character of the development of the block face on the opposite side of the street from the proposed development is substantially consistent with the proposed accessory uses;
- b. The character of the street abutting the development adjacent site and the block face on the on the opposite side of the street is incompatible with providing an active pedestrian orientated environment.
- c. The location of a floodway or floodplain on a development site, or changes in topography of the development site or abutting street that the commercial area is required to front, are such that reasonable accommodations to provide pedestrian accessibility to the commercial area is impracticable; or
- d. A substantial amount of the block face property abutting the opposite side of the street from the proposed development in an industrial zone or contains a use in the public facility zone that is not compatible to a pedestrian oriented residential and commercial environment.

B. Residential Entrance, Exit, and Lobby.

1. Upon review of the property owner's or authorized agent's separate written request, plans for the proposed development, and any additional requested information, the Director may modify the minimum width and/or depth

requirements of the Residential Entrance, Exit, and Lobby (REEL) based on the following:

- a. Lots with a street frontage width less than 65 feet. When a ground floor/first floor pedestrian-oriented commercial area is provided adjacent to the lot line with a width less the 65 feet abutting the street, the width of the REEL may be reduced to 8 feet, or width that is equal to, or greater than, twenty percent of the width of the lot, whichever is greater.
 2. Upon review of the property owner's or authorized agent's separate written request, plans for the proposed development, and any additional requested information, the Director may modify width, depth or location requirement of the REEL for a development site in the Downtown Overlay that incorporates modifications to an existing building with new area above or behind the façade of the existing building, and the proposed modification maintains or enhances the character of the block face that the development site is located.
- C. Parking Structures or Interior Parking Lots Building Façade.
1. Upon review of the property owner's or authorized agent's separate written request, plans for the proposed development, and any additional requested information, the Director may modify the allowed width of the parking structure adjacent to a street based on the following criteria:
 - a. The façade of the parking structure adjacent to the street is designed to appear substantial consistent with the other façades of the development that do not contain a parking structure; and
 - b. The total façade area of the parking structure shall not exceed 50% of the total façade fronting a street that a parking structure is adjacent; or
 - c. The entire width of a development's façade adjacent to a street, excluding a street that is a commercial corridor identified on the General Plan's Road Network Illustration Map, may be a parking structure, if the property of the block face on the opposite side of the street from the proposed development:
 - (1) is substantially an industrial zone;
 - (2) contains a use in the public facility zone that is not compatible to a pedestrian oriented residential or commercial environment;
 - (3) does not contain a residential zone; or
 - (4) does not contain a residential or mixed-use development.

Section 10.

Amend Title 10 FLAGSTAFF ZONING CODE, to add 10-40.60.262. Design Requirements for Ground Floor Pedestrian-Oriented Residential Dwelling Units and Residential Community Building Area., as follows:

10-40.60.262. Design Requirements for Ground floor/first floor Pedestrian-Oriented Residential Dwelling Units and Residential Community Building Area.

A. Ground floor/First floor Pedestrian-Oriented Residential Dwelling Units.

1. Ground floor/First floor residential units, and building area above, shall comply with the front and street side building setbacks indicated in Table 10-40.30.040.C.
2. Encroachments into the setbacks are allowed in accordance with Section 10-50.40.020, and as follows:
 - a. In addition to provisions of Section 10-50.40.020, patios, court yards, walls, fences, and hedges shall be setback a least five-feet from the street sidewalk, and at least 15 feet from the back of the street curbline. (Refer to Section 10-80.20.030 for the definition of curbline.)
 - b. The Planning Director, after consulting with the City Engineer, may approve a raised planter bench(es) between the curb and the minimum 15 foot setback from the curbline that complies with the following:
 - (1) The planter benches are consistent with the existing, or approved planned streetscape for the street frontage;
 - (2) The maximum height of the planter bench shall not exceed a height of 18 inches, measured from the top of the adjacent curb;
 - (3) The planter bench shall be setback a minimum of two feet from the curb and any side of the sidewalk; and
 - (4) Any additional requirements of the City Engineer and City Code.
 - (2) The Planning Director, after consulting with the City Engineer, may approve street furniture within right-of-way.
 - d. The following shall supersede the provisions of Section 10-50.40.020 for properties in a transect regulating plan area and an activity center:
 - (1) Entry trellis, pergola, or arbor over a pedestrian entrance sidewalk shall be setback at least two (2) feet from the front and street side property line, and at least two (2) feet from a street sidewalk.
3. Ground floor/First floor residential units adjacent to a street(s) shall be designed to incorporate the following:
 - a. Each dwelling unit shall have a street oriented exterior door(s) and window(s).
 - b. A direct pedestrian entrance from the interior of dwelling unit to the adjacent street sidewalk shall be provided. The direct pedestrian entrance

from the dwelling unit to street shall not include a pedestrian route through common areas of a building(s), or the development's private exterior common areas, except for a courtyard, patio or yard provided in accordance with (c). The pedestrian route shall be sidewalk having minimum 40-inch width.

- c. Each dwelling unit shall have an attached patio or courtyard with or without a low walls, fences or plant material to define the boundary between public and private areas. If pedestrian access to the street from the interior of dwelling unit is provided through the patio, or courtyard, a pedestrian opening that opens toward the street through the wall, fence or plant material shall be provided.
- d. When provided, patios and court yards shall have minimum width and depth of 8 feet, a minimum area of 80 square feet, and shall be recessed into the building a minimum of 4 feet.;
- e. To define a patio or court yard, walls, fences, or shrubs with a height no greater than 36 inches shall be provided between the building facade and the street sidewalk; and
- f. Walls and fences within 10 feet from the property line shall have a transparency of 70%, or greater.

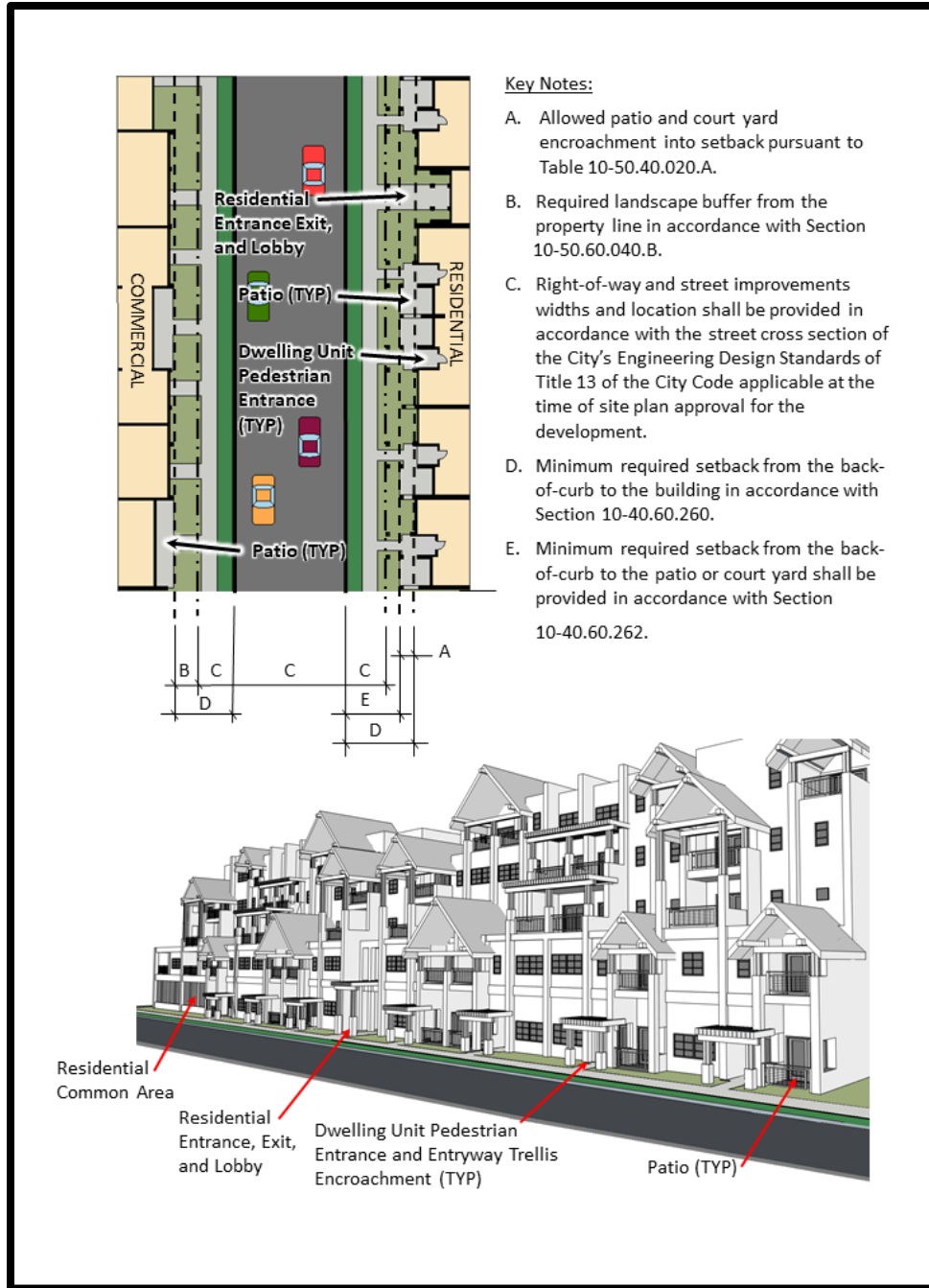


Figure 10-40.60.262.A.3.

Ground Floor/First Floor Residential Dwelling Units and Community Building Area.

B. Ground floor/First floor Residential Community Building Area.

1. Ground floor/First floor residential units, and building area above, shall comply with the front and street side building setbacks indicated in Table 10-40.30.040.C.

2. Encroachments into the setbacks are allowed in accordance with Section 10-50.40.020, except provided in (a):
 - a. In addition to provisions of Section 10-50.40.020, patios, court yards, walls, fences, and hedges shall be setback a least five-feet from the street sidewalk, and at least 15 feet from the back of the street curblin. (Refer to Section 10-80.20.030 for the definition of curblin.)
 - b. The Planning Director, after consulting with the City Engineer, may approve street furniture within the right-of-way.
 3. Ground floor/First floor residential community building areas adjacent to a street shall be designed in accordance with the following:
 - a. Street-facing building façades between two (2) feet and ten (10) feet in height shall be at least 75 percent transparent glass that allow views of indoor space;
 - b. When provided, a patio and court yard between the building façade and the property line shall have minimum width of 8 feet, and shall be delineated by a wall, fence, or shrubs that has a height no greater than 36 inches, measured from grade directly abutting the exterior of the wall, fence, or shrubs.
 - c. Site, court yard, patio, and balcony walls and fences closer than 20 feet from the back of the adjacent street curb, from grade to the bottom of the second story above grade, shall have a transparency of 70 percent, or greater.
- C. Minimum Floor-to-Ceiling Height of the Ground Floor/First Floor Commercial Area.
1. The Planning Director may approve an alternative ground floor/first floor commercial area floor-to-ceiling height for a building on a property zoned Downtown Overlay (DO), Landmarks Overlay (LO), or the Townsite Overlay (TO), or on a historic register, when:
 - a. The building is existing, and it is being modified for reuse, and the proposed floor-to-ceiling height is existing or generally consistent with the adjacent buildings on the same block face; or
 - b. The building is new, is on a development site containing an existing building that will remain, and the modified height is consistent with the existing building or with the adjacent buildings on the same block face.

Section 11. Amend Title 10 FLAGSTAFF ZONING CODE, Section 10-80.20.020 Definitions, “B”, for the term, “Block face”, as follows:

10-80.20.020 Definitions, “B”

Block Face: is the frontage abutting a street between to intersecting streets, frontage between changes in street direction greater than 45 degrees, and a combination of an intersecting street and a street that changes direction greater that 45 degrees.

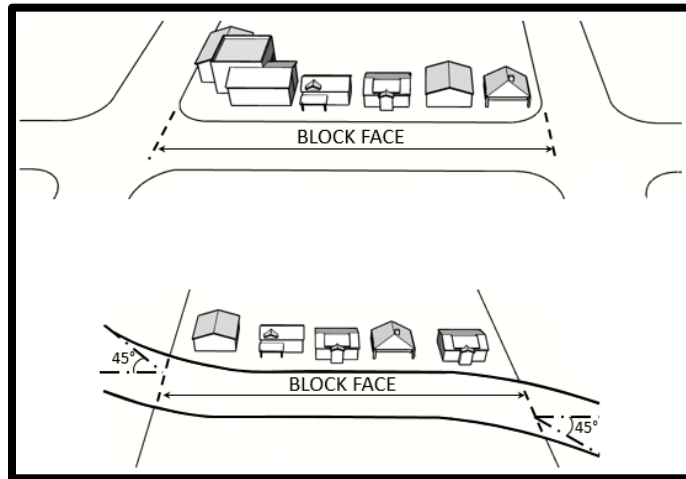


Figure 10-80.20.020. Block Face.

Section 12. Amend Title 10 FLAGSTAFF ZONING CODE, Section 10-80.20.030 Definitions, “C”, add the term, “Curblin”, as follows:

10-80.20.030 Definitions, “C”

Curblin: is the curb of a street, in its existing location of the curb, or the location specified in the of Title 13 of the City Code, whichever curb location is a distance greater from the center of the street (See Figure 10-80.20.020.A. Curblin Cross Section.) – except as noted in “K” of Figure 10-80.20.020.A. The curblin follows curb location of curves, changing directions and widening of the street, including turn lanes, transit bays, deceleration lanes, parking areas, etc., and excluding anomalies, such as a street landscape planter, sidewalk crossing bulb out, intersection bulb outs, etc. Where a curb location is excluded, the projected curblin is used as the curblin as indicated in Figure 10-80.20.020.B Curblin.

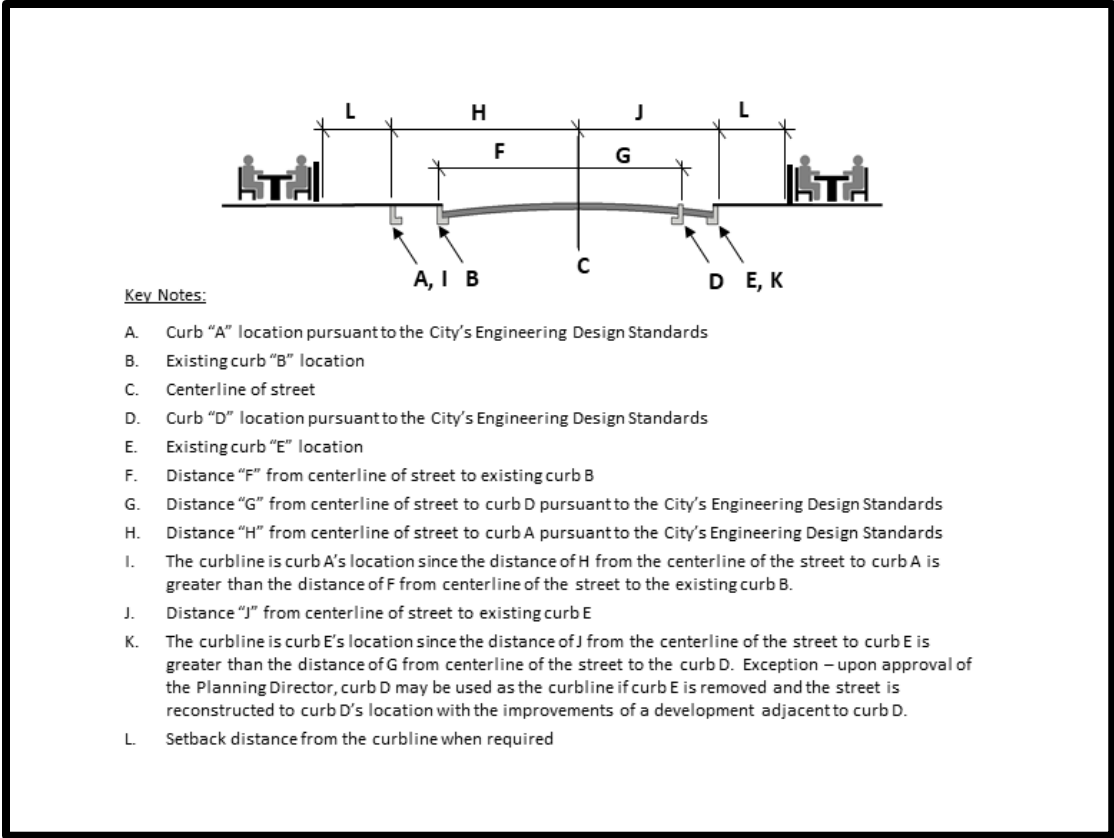


Figure 10-80.20.020.A Curbline Cross Section.

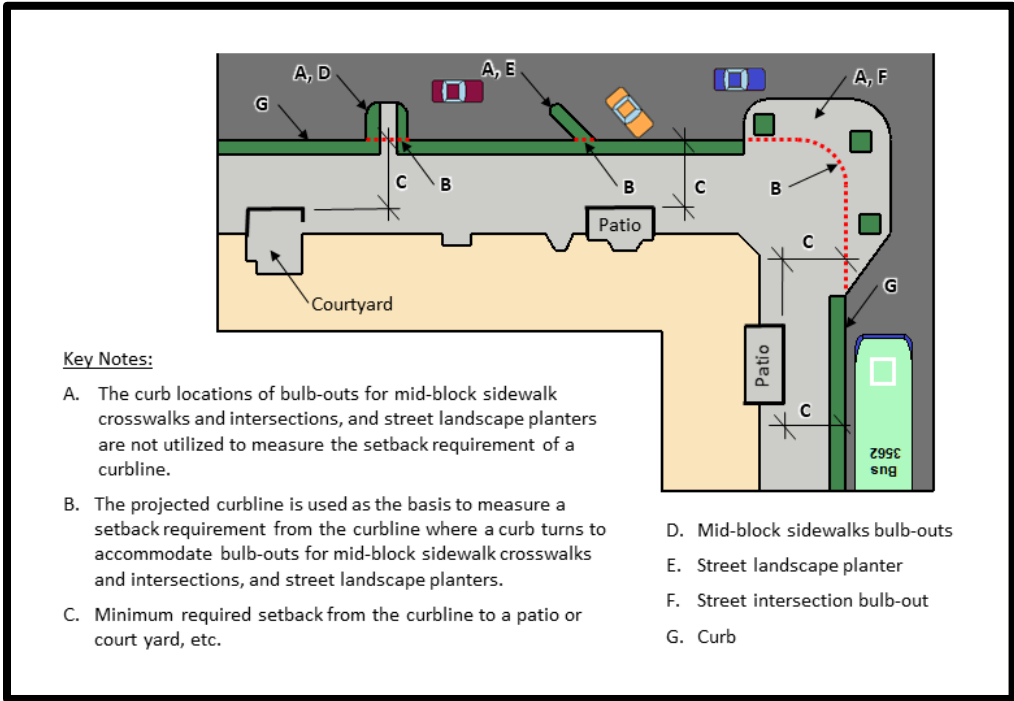


Figure 10-80.20.020.B Curbline.

Section 13. Amend Title 10 FLAGSTAFF ZONING CODE, Section 10-80.20.180 Definitions, “R”, to add the term, “Residential Community Building Area”, as follows:

10-80.20.180 Definitions, “R”

Residential Community Building Area: is indoor area that is related to the residential use of a development. This area includes indoor residential amenities (resident café, lounges, game room, gym and fitness facilities, conference and flex space, storage, etc.), and facilities for administration and management of the residential area of development – including a leasing, etc.